

Ward: Radcliffe - East

Item 03

Applicant: WC Investments Ltd / Great Places Housing Group

Location: Land at Green Street, Radcliffe

Proposal: Construction of new mixed-use development comprising 132 apartments, bar, commercial and office spaces with associated landscaping and car parking.

Application Ref: 68998/Full

Target Date: 25/01/2023

Recommendation: Approve with Conditions

The Development Manager has requested a site visit for this application.

Description

The site is located between the Green Street, Pilkington Way and Blackburn Street in the town centre of Radcliffe. The site consists of a landscaped area near Blackburn Street, 2 car parks, which are accessed from Blackburn Street and Green Street associated with the vacant site of the former leisure centre. In recent years, a temporary covid-19 testing centre was located on one of the car parks, but this has been cleared from the site.

St Thomas and St John church, which is Grade II listed is located to the east of the site and is set within landscaped grounds. There are commercial uses, retail uses and a car park to the south of the site. Pilkington Way forms the boundary to the north and is level at the north, but significantly lower than the site at the western point. Beyond Pilkington Way is a area of landscaping and residential properties.

Proposal

The proposed development involves the erection of 2 buildings containing 132 apartments, a bar, offices and commercial units.

The proposed residential building would be located along the northern boundary of the site and would be residential only. It would contain 97 apartments, which are split into 2 blocks with separate entrances and would be 5 - 6 storeys in height. The proposed building would be constructed from facing brickwork in two colours and cladding.

The second building would be located along the boundary with Pilkington Way and Blackburn Street and would be mixed use. It would contain a pub and 2 commercial buildings on ground floor, offices on the first and second floor and apartments on the remaining floors. The proposed building would be 2 - 6 storeys in height above ground with a basement level and would be constructed from facing brickwork in two colours and cladding.

The proposed development would be accessed from Green Street and car parking would be provided in the basement of the proposed mixed use building proposed as well as ground level.

Relevant Planning History

59213 - Prior notification for demolition of existing building at Radcliffe swimming pool, Green Street, Radcliffe. Prior approval required and granted - 9 November 2015.

Publicity

The neighbouring properties were notified by means of a letter on 26 October 2022 and a press notice was published in the Bury Times on 24 November 2022. Site notices were

posted on 14 November 2022.

14 letters have been received, which have raised the following issues:

- Bury needs social housing for families - not flats/apartments.
- This is a town centre - develop it for commercial or leisure purposes and not an area to dump housing stock.
- The town is struggling to cope with traffic.
- The proposed development would be an eyesore and not in keeping with the area
- Build the Radcliffe hub and pool on this site.
- There are no shops, no school and no leisure facilities - the Council should look at building where they have facilities.
- This land was terraced housing for families and I feel it should be used as such, not putting people up in the sky and out of touch with neighbours.
- The proposed high rise flats will block light for existing residents.
- If there is to be retail, put it in the centre of the town, where the bus station is
- No dentists or doctors taking on new patients. There is no high school. We need shops in the town centre
- Anyone unfortunate to live in these flats will suffer heavy traffic noise and pollution! Not a very healthy living environment.
- Plenty of empty properties standing idle for years yet Bury MBC do nothing to tackle the problem
- Ugly building, already has the appearance of slums
- Radcliffe needs affordable housing; What will be the price of these dwellings? What will be the management charges for these dwellings? Will there be unfair exorbitant leasehold charges attached to these dwellings?
- Car parking will be an issue
- This building will dominate the area, overshadowing the church opposite.
- The design is inappropriate for the location
- The scale & dominance of the buildings are not in keeping with the area. The buildings would adversely dominate the view from Pilkington Way, Water St and from the direction of St Thomas's
- The proposal is for too many buildings, too close together. They are huge, 5 storey buildings of an unattractive plain design with no character. The design & size of the buildings are completely at odds with St Thomas's church, the cenotaph & what used to be the town hall
- The proposal would overdevelop the land in question, the scale and size is too big, too compact & over prominent.
- Where is the school, leisure centre civic hall, a trading market and shops replacement first please.
- Currently one of the main landmarks in the town centre is that of St Thomas' church, a grade 2 listed building, however these proposals would markedly alter the character of the area. The proposed dwellings are not of a design which is in keeping with the scale, character, or appearance of the area.
- The location has only one 'direct' access point, from an already congested main road that, if blocked, would cause emergency services a major problem when they need access.
- It's good that brownfield land is being used for housing but has the infrastructure been assessed too?
- The current shops are under utilised and have commercial tenants already been identified for the new units that aren't takeaways and charity shops?
- The plans to regenerate the town are released piecemeal and whilst I appreciate the need for regeneration, I want to see how and when the existing problems will be addressed and how the whole plan fits together.
- This development is too high at 5 storeys and will spoil the view of St Thomas's Church grade 2 listed building.
- Why do you send these letters out if you already know the outcome?

The neighbouring properties were notified of revised plans on 29 March 2023. 1 letter has

been received, which has raised the following issues:

- I have studied the plans and cannot see any significant changes.
- The buildings are still far too tall and are disrespectful to the heritage of the town.
- The proposed materials look awful
- The proposed building design is nothing more than tall square concrete plain blocks
- The buildings will look like unkempt slums in no time and these are buildings Bury Council are proposing for an historic town centre. Bury Council would NEVER allow such ugly, massive, plain buildings in Ramsbottom centre. Similar buildings, constructed in recent years in Ramsbottom, are built from far more aesthetically pleasing materials and are only 3 (max 4) storeys tall.
- The Council seem happy to allow any inferior construction in Radcliffe, I'd like those on the Planning Committee to compare this eyesore with similar in Ramsbottom.

The objectors have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - No objections, subject to the inclusion of conditions relating to highway improvements, construction traffic management plan, vehicular and pedestrian access arrangements, car and cycle parking and bin storage arrangements.

Drainage Section - No response received.

Environmental Health - Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land

Environmental Health - Air Quality - No objections, subject to the inclusion of conditions relating to electric vehicle chargers and dust.

Environmental Health - Pollution Control - No objections, subject to the inclusion of conditions relating to fumes and odours and noise.

Conservation Officer - No objections.

Waste Management - No objections.

United Utilities - No objections, subject to the inclusion of conditions relating to protection of existing sewers and surface water drainage.

GM Ecology Unit - No objections, subject to the inclusion of conditions relating to nesting birds, Japanese Knotweed and landscaping.

Transport for GM - No objections.

The Coal Authority - No objections, subject to the inclusion of conditions relating to intrusive investigations for coal mining and verification report.

Environment Agency - Unable to provide site specific advice as have revised priorities

Designforsecurity - No objections.

Pre-start Conditions - Awaiting confirmation that the applicant/agent agree with pre-start conditions.

Unitary Development Plan and Policies

EC5/2 Other Centres and Preferred Office Locations

EC6/1 New Business, Industrial and Commercial

H1/2 Further Housing Development

H2/1 The Form of New Residential Development

H2/2 The Layout of New Residential Development

H4/1 Affordable Housing

EN1/1 Visual Amenity

EN1/2 Townscape and Built Design

EN1/3 Landscaping Provision

EN1/4 Street Furniture

EN1/5 Crime Prevention

EN1/7 Throughroutes and Gateways

EN1/8 Shop Fronts

EN2 Conservation and Listed Buildings

EN2/3 Listed Buildings

EN5/1 New Development and Flood Risk

EN6 Conservation of the Natural Environment

EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/1	Atmospheric Pollution
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8	Woodland and Trees
EN8/2	Woodland and Tree Planting
RT2/2	Recreation Provision in New Housing Development
S1/2	Shopping in Other Town Centres
S2/1	All New Retail Proposals: Assessment Criteria
S2/6	Food and Drink
HT2/3	Improvements to Other Roads
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
HT6/2	Pedestrian/Vehicular Conflict
TC2	Town Centre Enhancement and Development
TC2/2	Mixed Use Development
TC2/3	Vacant and Cleared Sites
Area	Green Street/New Church Street
RD2	
SPD1	Open Space, Sport and Recreation Provision
SPD5	DC Policy Guidance Note 5: Affordable Housing
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Residential - The National Planning Policy Framework (NPPF) should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. The Framework maintains the emphasis on identifying a rolling five year supply of deliverable housing land.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up of sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the five year supply calculations as many sites will take longer than five years to come forward and be fully developed (e.g. some large sites could take up to ten years to be completed). As such, latest monitoring indicates that the Council is unable to demonstrate a five year supply of deliverable housing land and this needs to be treated as a material factor when determining applications for residential developments.

The National Planning Policy Framework also sets out the Housing Delivery Test, which is an assessment of net additional dwellings provided over the previous three years against the homes required. Where the test indicates that the delivery of housing was substantially below (less than 75%) of the housing requirement over the previous years, this needs to be taken into account in the decision-taking process. The latest results published by the Government show that Bury has a housing delivery test result of less than 75%, and

therefore, this needs to be treated as a material factor when determining applications for residential development.

Therefore, in relation to the proposed dwelling, paragraph 11(d) of the National Planning Policy Framework states that where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, planning permission should be granted unless:

- i. The application of policies in the Framework that protect areas, or assets of particular importance, provides a clear reason for refusing the development proposed; or
- ii. Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework, taken as a whole.

In this case the 'titled balance' applies and planning permission should be granted unless the above points Para 11(d) i or ii apply.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The site is located within the urban boundary and has good access to infrastructure. There are commercial uses to the south and residential uses to the north. As such, the proposed development would not conflict with the surrounding land uses. The site is currently in use as a car park and the floor slab from the previously demolished leisure centre. As such, the proposed development is a brownfield site. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

Principle - Commercial - Paragraph 86 of the NPPF states that, Planning policies and decisions should support the role that town centres play at the heart of local communities, by taking a positive approach to their growth, management and adaptation. Planning policies should:

- a. define a network and hierarchy of town centres and promote their long-term vitality and viability – by allowing them to grow and diversify in a way that can respond to rapid changes in the retail and leisure industries, allows a suitable mix of uses (including housing) and reflects their distinctive characters;
- b. define the extent of town centres and primary shopping areas, and make clear the range of uses permitted in such locations, as part of a positive strategy for the future of each centre;
- c. retain and enhance existing markets and, where appropriate, re-introduce or create new ones;
- d. allocate a range of suitable sites in town centres to meet the scale and type of development likely to be needed, looking at least ten years ahead. Meeting anticipated needs for retail, leisure, office and other main town centre uses over this period should not be compromised by limited site availability, so town centre boundaries should be kept under review where necessary;
- e. where suitable and viable town centre sites are not available for main town centre uses, allocate appropriate edge of centre sites that are well connected to the town centre. If sufficient edge of centre sites cannot be identified, policies should explain how identified needs can be met in other accessible locations that are well connected to the town centre; and
- f. recognise that residential development often plays an important role in ensuring the vitality of centres and encourage residential development on appropriate sites.

Paragraph 87 of the NPPF states that Local Planning Authorities should apply a sequential test to planning applications for main town centre uses which are neither in an existing centre nor in accordance with an up to date plan. Main town centre uses should be located in town centres, then in edge of centre locations, and only if suitable sites are not available (or expected to become available within a reasonable period) should out of centre sites be

considered.

The proposed development would provide a pub, which is sui generis, and two commercial units, within Class E, which covers a variety of town centre uses, including retail, restaurants, hairdressers, estate agents, clinics, nurseries or gymnasium. The proposed uses would be appropriate within a town centre and would provide a range of services that would add to the vitality and viability of the town centre. The proposed development would be located within the town centre and as such, a sequential test would not be required. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policies S1/2, S2/1 and S2/6 of the Bury Unitary Development Plan and the NPPF.

Principle - Employment - Paragraph 87 of the NPPF states that local planning authorities should apply a sequential test to planning applications for main town centre uses which are neither in an existing centre nor in accordance with an up-to-date plan sequentially. Main town centre uses should be located in town centres, then in edge of centre locations; and only if suitable sites are not available (or expected to become available within a reasonable period) should out of centre sites be considered.

Policy EC5/2 states that the Council will look favourably on office developments in town and district centres, particularly in relation to existing or proposed transport infrastructure.

The proposed development would provide 390 square metres of office space at first and second floor within the mixed use building. The proposed development would be located within the town centre and as such, a sequential test would not be required. The proposed development would be acceptable in principle and would be in accordance with Policies EC5/2 of the Bury Unitary Development Plan and the NPPF.

Heritage - The application site is the former Radcliffe Pool & Fitness Centre, now demolished. Previously to that the site was occupied by terraces of dense two storey dwellings built in the mid-19th century.

The proposed development involves the erection of two buildings fronting Blackburn Street, between its junctions with Green Street and Pilkington Way. The proposed building would be 5 storeys at the junction with Blackburn Street and Pilkington Way and 3 storeys at its junction with Green Street. The site does not form part of a conservation area but is visible in views into and out of the setting of the Grade II listed Church of St Thomas and St John opposite, what would be the Blackburn Street frontage from certain vantage points along Green Street and Pilkington Way. The current church dates from 1862 and replaced a classical church on the same site from 1819.

Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 require decision makers to have special regard to the desirability of preserving a listed building or its setting or any feature of architectural or historic interest it possesses. The decision maker must also give considerable importance and weight to the desirability of preserving the setting of the listed building.

The application has described the heritage significance of the church and its setting and the impact of the proposal on that setting in a heritage statement, addendum and in an additional visual impact assessment. Their assessments conclude the proposal would enhance the significance of the listed building.

It is accepted that views of the church and its setting south and north along Blackburn Street and from wider angles at the junction of School Street and Blackburn Street would not be interrupted and therefore, there would be no harm caused to the setting of the church. This is also the case for views from Darbyshire Street to the north, Seymour Court and Newchurch Court to the north east and New Church Street to the south.

It is considered the proposed 3 storey element at the junction of Green Street and

Blackburn Street would have no more impact on views and the setting of the church from the east along Green Street, than existed before the swimming pool building was demolished.

There would be an interruption of views of the church and of its setting north along Pilkington Way for approximately 80 metres north between the foot bridge and the emerging junction with Blackburn Street. This view is exclusive to passing vehicles as there is no pedestrian footway along that part of Pilkington Way. The interruption would last only a matter of seconds until the junction of Pilkington Way and Blackburn Street is reached. The same interruption of views would occur at the bus stop on the north east side of Pilkington Way and only be experienced for the period of waiting time.

The setting of the church has remained largely unchanged from the time the church was built up to the present day and remains within the confines of its curtilage closely bounded by residential development. Ordnance Survey map extracts dating from 1893 to the present day show how the built environment surrounding the church has changed and as such, how the setting of the church has been viewed over the timeline.

The arrival of the railway along what is now Pilkington Way and Darbyshire Street and high density residential development to the west, south and east of the church in the mid to late 19th century restricted the churches setting to within its own curtilage, which largely remains the case today. Demolition of that development through the 1960s, 70s and 80s has opened up the churches setting which has remained to the present day.

The proposal would cause the minimal loss of the views identified in limited way and would only have a minimal impact on the setting of the listed church. As such, the impact identified would not meet the level of less than substantial harm requiring a balancing of harm against the benefits of the proposal. Therefore, the proposal would not harm or cause a loss of significance to the church and therefore, the impact of the proposal on the setting of the church is considered to be neutral and would therefore preserve its setting.

The proposal would in heritage conservation terms, comply with and not be contrary to Policy EN2/3 of the Bury Unitary Development Plan and paragraphs 194, 195, 197, 199, 200 of the National Planning Policy Framework.

Design and layout - The proposed buildings would be located on the eastern and northern part of the site and would provide an active frontage to Green Street, Blackburn Street and Pilkington Way.

The proposed mixed use building would be between 4 and 7 storeys in height, which includes the basement level. There would be 2 storeys above ground adjacent to Green Street, which would rise to 3 storeys and there would be 29.7 metres between the proposed building and 59 Blackburn Street, which is a two storey building. Given the distance between the two properties, which would create a visual gap, the increase to 3 storeys would not dominate the existing properties on Blackburn Street. The proposed mixed use building would rise to 6 storeys above ground on the corner of Blackburn Street and Pilkington Way, which would hold the corner. The proposed residential building would be located along the northern boundary and would be 6 storeys in height. In design terms, the proposed building would hold the elevation along Pilkington Way and would complement the proposed mixed use building. The proposed buildings would have the prominence needed for a gateway site and responds to the geometry of the highways and site. Therefore, the height and scale of the proposed buildings would be acceptable and would not be a prominent feature in the streetscene.

The proposed buildings would be constructed from facing brickwork in two contrasting colours and cladding. The existing buildings on Blackburn Street and Green Street are constructed from render and cladding and the proposed buildings would complement these buildings. The use of different materials would add visual interest and the use of recessed areas would help to break up the massing and bulk of the proposed development.

Therefore, the proposed development would be an appropriate feature in the streetscene and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon surrounding area - The proposed development would remove a derelict site in a prominent location and would deliver housing and business uses, which in turn, would bring economic benefits. The proposed development would contribute to the regeneration of Radcliffe and the wider area.

The proposed site plan indicates that a suitable level of private amenity space would be provided on site, which would be acceptable. 4 internal bin stores would be provided, which would provide adequate space for the commercial and residential uses.

The site would be landscaped and no site fencing would be proposed. The boundaries of the site would be marked with planting and hedges, which would ensure that the site would remain open.

Therefore, the proposed development would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Due to the height of the proposed buildings, a tv signal report has been submitted. The report concludes that the tv reception to the existing residential properties to the north and northwest of the site would not be affected by the proposed development. The properties to the south of the proposed development are commercial properties and would be unaffected by the proposals. Therefore, the proposed development would not have an adverse impact upon tv signal in the locality and would be in accordance with the NPPF.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and would be relevant in this case. The aspect standards are based on a two storey building and for each additional storey in height a further 3 metres should be added onto the aspect standard.

There would be 34.1 metres between the proposed residential building and No. 1 School Street. There would be two areas of trees, which would act as a screen. The distance would be in accordance with the aspect standard.

There would be a distance of 49.9 metres between St Thomas Close and the proposed mixed use building, which would be in excess of the aspect standard.

There would be 29 metres between the proposed bar and offices and No. 69 Blackburn Street, which would comply with aspect standards.

There would be 19.1 metres between the proposed residential block and a blank wall in the proposed mixed use building. Whilst this would be a little below the aspect standard of 25 metres, the occupiers of these units would be aware of the relationship before occupying the proposed dwelling. As such, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties and would be in accordance with Policies EN1/2 and H2/2 of the Bury Unitary Development Plan.

Flood risk/drainage - A Flood Risk Assessment (FRA) was submitted as part of the application. Currently, the site contains 2 tarmac car parks and an area of hardstanding. The FRA states that the site lies is at very low risk from surface water flooding and the proposed drainage strategy would mitigate the risk of groundwater flooding. Therefore, the proposed development would not increase the risk of flooding to the site or any properties downstream and the proposed development would be in accordance with Policy EN5/2 of the Bury Unitary Development Plan.

There is a sewer and a water main present within the site. United Utilities have no objections, subject to the inclusion of a condition relating to protection of the sewer and water main assets. A drainage strategy and drawing has been submitted and assessed by United Utilities. Whilst it is acceptable in principle, there are elements that will need to be changed. As such, United Utilities have no objections and they recommend the inclusion of a condition relating to surface water drainage. Therefore, the proposed development would be in accordance with Policy EN7/5 of the Bury Unitary Development Plan.

Ecology - An ecological survey was submitted with the application and the main issues relate to protected species, nesting birds, invasive species and biodiversity enhancement measures.

Protected Species - The survey found no evidence of any protected species within the site and all were reasonable discounted. Given the urban location, lack of vegetated habitats and the presence of significant barriers, GM Ecology Unit had no reason to doubt the findings. Therefore, the proposed development would not have an adverse impact upon a protected species.

Nesting Birds - Trees and shrubs would be removed as part of the proposed development, which would include potential bird nesting habitat. GM Ecology Unit has no objections, subject to the inclusion of a condition relating to nesting birds.

Japanese Rose - Japanese Rose is a species, which is listed under schedule 9 part 2 of the Wildlife & Countryside Act 1981 (as amended) and it is an offence to plant or spread this species in the wild. Given the urban location, the current site would not be regarded as 'wild' and therefore, no offences are likely to occur on site. However, soil contaminated by this species could theoretically be transported off-site to a more natural location, where an offence could be committed. GM Ecology Unit has no objections, subject to the inclusion of a condition relating to the eradication of Japanese Rose.

Contributing to and Enhancing the Natural Environment - Section 174 of the NPPF 2021 states that the planning policies and decisions should contribute to and enhance the natural and local environment. The site consists of primarily hardstanding with smaller areas of trees and amenity planting. This will be replaced with buildings, hardstanding and amenity planting and a pond. The percentage of soft landscaping and number of trees would be higher post development and a biodiversity net gain assessment has been provided that indicates a net gain on site in excess of 10%. The planting schedule indicates that native planting would be provided. GM Ecology Unit has no objections, subject to the inclusion of conditions relating to landscaping and provision for nesting birds and bats.

Overall, the proposed development would not cause harm to a protected species, subject to conditional control and would be in accordance with Policies EN6 and EN6/3 of the Bury Unitary Development Plan and the NPPF.

Noise - The proposed development would provide a pub and 2 commercial units (Class E) on the ground floor of the mixed use building. Class E covers a variety of uses, which would be acceptable within the town centre, such as hairdressers, shops, estate agents, clinics, nursery or gymnasium. The proposed development is located within the town centre and adjacent to a major throughroute.

A noise assessment has been submitted as part of the application and assessed the impact of noise to the site, the impact of noise transferring between ground floor and the proposed residential properties above and noise from external plant. The report concludes that the proposed residential units would not be affected by external noise, subject to the upgrading of the glazing within the building and that the sound insulation between the ground and first floors for the offices should achieve at least 50dB. The noise levels within the restaurant should not exceed 85dB and the sound insulation between the floors should achieve 55dB. Environmental Health - Pollution Control has no objections, subject to the inclusion of

conditions to secure the measures listed above.

It was not possible to assess the noise generated from external plant as the site was in use as a covid testing centre and there were generators on site, which would have affected the results. As such, it is proposed to include a condition that would require details of sound attenuation for any necessary plant to be submitted, approved and installed before any of the commercial units are occupied.

Therefore, the proposed development would not have a significant adverse impact in terms of noise and would be in accordance with Policy EN7/2 of the Bury Unitary Development Plan.

Air Quality - The proposed development has the potential to cause air quality impacts at sensitive locations and the impact on air quality as a result of the traffic generation by the development would be negligible. The impact upon sensitive locations would be mitigated by the implementation of dust control measures and the installation of electric vehicle charging points, which would be conditioned. Environmental Health section has no objections, subject to the inclusion of conditions. Therefore, the proposed development would be in accordance with Policy EN7/1 of the Bury Unitary Development Plan.

Trees - The proposed development would require the removal of trees across the site. Of the trees to be removed, there are 14 category B trees, 10 category C trees and 3 category U trees. As such, the trees to be removed are of poor quality and there would be no objections to their removal, subject to their replacement. The proposed landscaping plan shows that these trees would be replaced, which would contribute to biodiversity net gain and this would be conditioned. Therefore, the proposed development, subject to conditional control, would not have a significant adverse impact upon the character of the area and would be in accordance with Policies EN8 and EN8/2 of the Bury Unitary Development Plan.

Highways issues - A Transport Assessment was submitted with the application and concludes that the proposed development is located in a highly sustainable location and the personal injury data would not represent a material concern. It should be noted that no allowance has been made for the number of vehicle movements generated by the existing use as a public car park. The level of traffic arising from the scheme has been tested at the Blackburn Street/Green Street/New Church Street junction and the junction would have sufficient spare capacity to accommodate the proposed development without a material impact upon its operation. Beyond this junction, the proposed development would generate under 30 vehicle movements during peak hours, which would equate to less than 1 movement every 2 minutes, which would not have a material impact upon the wider highway network.

The proposed development would be accessed via 3 vehicular accesses from Green Street, which would connect to Blackburn Street. There would be acceptable levels of visibility provided and turning facilities are available within the site. 6 pedestrian accesses would be provided across Blackburn Street and Green Street and there would be clearly marked paths to the entrances of both the proposed buildings. The Traffic Section has no objections, subject to the inclusion of conditions relating to highway improvements, construction traffic management plan, vehicular and pedestrian access arrangements, turning facilities, car and cycle parking and bin storage arrangements.

Level access would be provided to both of the proposed buildings and lifts would be provided to the proposed offices and both of the proposed apartment buildings. 8 accessible parking bays would be provided in close proximity to the entrances to the proposed buildings.

Therefore, the proposed development would not be detrimental to highway safety and would be accessible for all. Due to the location and scale, it could not be argued that the proposed development would generate a severe level of traffic impacts. The proposed

development would be in accordance with Policies EC6/1, H2/1, H2/2 , HT2/3 and H6/2 of the Bury Unitary Development Plan.

Parking - SPD11 states that the maximum parking standards for the uses proposed are as follows:

- 1 space per 35 square metres of office space (Class E)
- 1 space per 1 bedroom dwelling
- 1.5 spaces per 2 bedroom dwelling

This equates to 62 spaces for residential and office uses within the proposed mixed use building and 122 spaces for the proposed residential building.

The proposed development would provide 57 spaces and 5 disabled parking bays for the proposed mixed use building and 43 spaces and 3 disabled bays for the proposed residential building.

The proposed development is located in the town centre with good access to shops, health services and leisure facilities. The site is within walking distance of the bus station and the Metrolink station and cycle facilities would be provided on site. As such, the proposed development is in a highly sustainable location and in this instance, the level of parking proposed for the proposed development would be acceptable.

The proposed development would result in the loss of 72 spaces on the two existing car parks within the site. Proposals have been agreed at the Radcliffe Cabinet committee meeting that would address the short and long term issue of parking within Radcliffe as a whole. The long term measures involve the provision of a travel hub, which would include multi-storey car parking along with facilities for sustainable transport infrastructure. The short term proposals include:

- Restrict parking on Council owned car parks to 2 - 3 hour maximum stay, which would encourage a high turnover of spaces
- Provision of additional on-street car parking
- Lease spaces on private car parks.

These measures are expected to be in place within the next 12 months and as such would address the shortfall created by the proposed development. Furthermore, it is not within the gift of this single development to address the wider aims. Hence the wider strategy is able to guide and develop these issues.

Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Planning obligations - The scheme as proposed would normally include a commuted sum contribution of £206,177.40 for recreation as required by SPD1 and 49 affordable units as required by paragraph 64 of the NPPF.

The proposed development would provide 97 affordable units, which is in excess of the 49 required and is almost double that of 49. The proposed affordable units would be developed in conjunction with a registered housing provider and would be a mix of affordable rent and shared ownership.

The applicant has submitted a viability appraisal where a case has been presented that any commuted sum would render the development unviable and the viability of the proposed scheme is marginal. The scheme would provide amenity space on site and the scheme would provide 73% much needed affordable housing in the Borough, which is a clear public benefit of the proposal and would be secured through a condition.

Response to objectors

- The issues relating to design, layout, height, heritage, impact upon residential amenity, noise, traffic generation and parking have been addressed in the main report.
- Need in relation to the commercial units is not a material planning consideration and

cannot be taken into consideration.

- The proposed development would provide 73% affordable housing, which is above the policy requirement of 25% affordable housing.
- An application for the Radcliffe hub has been received, which includes a leisure centre and an event space. Radcliffe market is located near the site of the proposed hub and is currently trading.

Conclusion - The proposed development would deliver the regeneration of a much needed, longstanding vacant town centre site with a strong architectural response in scale and design. The proposed development is in a highly sustainable location and would deliver new housing and business without harm to listed buildings, residential amenity or site constraints.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 121305 10 P1, 121305 11 P19, 121305-TADW-11-[-1]-DR-A-0021-P-8, 121305-TADW-00-00-DR-A-0022-P-9, 121305-TADW-00-01-DR-A-0023-P-9, 121305-TADW-00-02-DR-A-0024-P-9, 121305-TADW-00-03-DR-A-0025-P-8, 121305-TADW-00-04-DR-A-0026-P-8, 121305-TADW-00-05-DR-A-0027-P-8, 121305-TADW-00-ZZ-DR-A-0028-P-8, 121305-TADW-00-ZZ-DR-A-0029-P-7, 121305-TADW-00-ZZ-DR-A-0030-P-8, 121305-TADW-00-ZZ-DR-A-0031-P-7, 121305-TADW-00-05-DR-A-0032-P-1, 121305-TADW-00-ZZ-DR-A-0041-P-10, 121305-TADW-00-ZZ-DR-A-0042-P-10, 121305-TADW-00-ZZ-DR-A-0043-P-10, 121305-TADW-00-ZZ-DR-A-0044-P-9, 121305-TADW-00-ZZ-DR-A-0045-P-7, ELL/21164/WH/L/1000 A and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Plot numbers B1 - B56 and C1 - C41 hereby approved shall only be developed by or on behalf of the applicant as units to be sold as shared ownership units or as general needs rent affordable housing.
Reason - The proposed development has been granted given the particular circumstances of the applicant and the opportunity to provide increased affordable housing, but as a result a recreational contribution pursuant to Supplementary Planning Document 1 (Open Space, Sport and Recreation Provision in New Housing Development) will not be provided. This condition is thereby to ensure that in order to make the development acceptable in planning terms, as a result of

not making a recreational contribution the whole development shall instead contribute to satisfying the need for affordable housing provision.

4. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.

5. No development shall commence unless and until:-

- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
- Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

6. Following the provisions of Condition 5 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

7. Prior to the commencement of the development hereby approved (excluding site clearance, demolition, or works relating to site investigation, remediation or ground works), a scheme for the provision of electric vehicle charging points shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented prior to occupation of the building hereby approved.

Reason. In accordance with paragraph 35 and 124 of the NPPF, to encourage the uptake of ultra-low emission vehicles and ensure the development is sustainable. To safeguard residential amenity, public health and quality of life.

8. No development shall commence until;

- a scheme of intrusive investigations has been carried out on site to establish the risks posed to the development by past shallow coal mining activity; and
- any remediation works and/or mitigation measures to address land instability arising from coal mining legacy, as may be necessary, have been implemented on site in full in order to ensure that the site is made safe and stable for the development proposed.

The intrusive site investigations and remedial works shall be carried out in accordance with authoritative UK guidance.

Reason. The scheme does not provide full details of the actual risk from coal mining and subsequent remediation, which is required to secure the satisfactory development of the site in terms of ground conditions and coal mining legacy to ensure the safety and stability of the site pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

9. Prior to the occupation of the development, or it being taken into beneficial use, a signed statement or declaration prepared by a suitably competent person confirming that the site is, or has been made safe and stable for the approved development shall be submitted to the Local Planning Authority for approval in writing. This document shall confirm the methods and findings of the intrusive site investigations and the completion of any remedial works and/or mitigation necessary to address the risks posed by past coal mining activity.

Reason. To secure the satisfactory development of the site in terms of in terms of ground conditions and coal mining legacy to ensure the safety and stability of the site pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

10. No development shall commence unless and until a scheme to minimise dust emissions has been submitted to and approved in writing by the Local Planning Authority, as outlined in Table 20 Fugitive Dust Emissions Mitigation Measures, of the report (Air Quality Assessment for Garden Street, Radcliffe, Ominia, Reference: C10628/C1AQA/1.0, December 2021). The scheme shall include details of all dust control measures and the methods to monitor emissions of dust arising from the development. The development shall be implemented in accordance with the approved scheme with the approved dust control measures being retained and maintained in a fully functional condition for the duration of the development hereby approved.

Reason. The information is required to reduce the impacts of dust disturbance from the site on the local environment, pursuant to chapter 11 of the NPPF - Conserving and enhancing the natural environment.

11. No development shall commence unless and until a scheme for treating, diluting, and dispersing fumes from and odours has been submitted to and approved in writing by the Local Planning Authority. The scheme submitted shall include a written statement from a suitably qualified person who is a member of the Heating and Ventilation Contractors Association (HVCA) or an equivalent professional body, stating that the fume treatment to be installed complies with or exceeds the 'Minimum Requirements For Odour Control' provided by the Guidance on the Control of Odour and Noise from Commercial Kitchen Exhaust Systems :DEFRA 2005 (or if applicable such superseding guidance as shall prevail at the time of commencement of the development).

The scheme to be submitted shall also include the relevant manufacturer and installer instructions for any associated equipment with details of maintenance requirements.

Reason. The application contains insufficient detail in order to demonstrate that the required scheme would maintain the residential amenities of nearby residential property from impact upon from fumes and odour pursuant to UDP Policy S2/6 - Food and Drink.

12. The mitigation measures identified in the Noise Impact Assessment, dated 16 December 2021 shall be implemented as proposed in full prior to first occupation of the dwellings hereby approved.

Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policy EN7/2 - Noise Pollution of the Bury Unitary Development Plan.

13. The construction of the separating floor between the bar and offices (as shown on plan reference 121305-TADW-00-00-DR-A-0022-P-9) hereby approved must

achieve an on-site sound insulation value of at least 50dB.

Reason. To protect the amenities of the future occupiers of the offices pursuant to Policy EN7/2 - Noise Pollution of the Bury Unitary Development Plan.

14. The construction of the separating floor between the commercial unit (74.4 square metres as shown on plan reference 121305-TADW-00-00-DR-A-0022-P-9) and the residential dwellings hereby approved must achieve an on-site sound insulation value of at least 55dB.

Reason. To protect the residential amenities of the future occupiers of the dwellings pursuant to Policy EN7/2 - Noise Pollution of the Bury Unitary Development Plan.

15. The noise levels within the commercial unit (173 square metres as shown on plan reference 121305-TADW-00-00-DR-A-0022-P-9) shall not exceed 85dB(A).

Reason. To protect the residential amenities of the future occupiers of the dwellings pursuant to Policy EN7/2 - Noise Pollution of the Bury Unitary Development Plan.

16. Prior to the commencement of development (including demolition, site clearance and any earthworks) details of the means of ensuring the combined sewer and surface water sewer are protected from damage shall be submitted to and approved by the Local Planning Authority in writing. The details must include measures to protect and prevent any detrimental impact to the wastewater infrastructure and its operation both during construction and post completion of the development to prevent exposing the sewer to undue loading, vibration or risk.

The details shall include:

1. A pre-demolition CCTV survey of the wastewater infrastructure with the submission of associated footage;
2. A demolition method statement outlining the potential impacts on the infrastructure from demolition/site clearance activities and identifying mitigation measures to protect and prevent any damage to wastewater infrastructure during demolition/site clearance works;
3. An assessment of all potential impacts on the wastewater infrastructure from construction activities including piling, tunnelling or any other form of construction that induces significant vibration and/or alters the existing load bearing arrangements and identifying mitigation measures to protect and prevent any damage to wastewater infrastructure during construction; and
4. A pre and post demolition condition survey.

Any mitigation measures shall be implemented in full prior to the commencement of development in accordance with the approved details and retained thereafter for the lifetime of the development.

In the event that a diversion/diversions of the infrastructure or a build over agreement is required, the developer shall submit evidence to the Local Planning Authority that a diversion or build over has been agreed with the relevant statutory undertaker and that the approved works have been undertaken prior to the commencement of development or, in the event of a build over, that agreement has been reached with the relevant statutory undertaker prior to commencement of development.

Reason. The application contains insufficient detail in relation to the sewer on site and in the interest of public health and to ensure protection of the public sewer system pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.

17. Prior to the commencement of development, details of a sustainable surface water drainage scheme and a foul water drainage scheme shall be submitted to and approved in writing by the Local Planning Authority. The drainage schemes must include:

1. An investigation of the hierarchy of drainage options in the National Planning Practice Guidance (or any subsequent amendment thereof). This investigation

shall include evidence of an assessment of ground conditions and the potential for infiltration of surface water in accordance with BRE365;

2. A restricted rate of discharge of surface water agreed with the local planning authority (if it is agreed that infiltration is discounted by the investigations). In the event of surface water discharging to the public combined sewer, the rate of discharge shall be restricted to 8 l/s;
3. Levels of the proposed drainage systems including proposed ground and finished floor levels in AOD;
4. Incorporate mitigation measures to manage the risk of sewer surcharge where applicable; and
5. Foul and surface water shall drain on separate systems.

The approved schemes shall also be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage. Prior to occupation of the proposed development, the drainage schemes shall be completed in accordance with the approved details and retained thereafter for the lifetime of the development.

Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1 - New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.

18. No construction shall commence until details of the means of ensuring the water main that is laid within the site boundary is protected from damage as a result of the development have been submitted to and approved by the Local Planning Authority in writing. The details shall outline the potential impacts on the water main from construction activities and the impacts post completion of the development on the water main infrastructure that crosses the site and identify mitigation measures to protect and prevent any damage to the water main both during construction and post completion of the development. Any mitigation measures shall be implemented in full in accordance with the approved details.
Reason. In the interest of public health and to ensure protection of the public water supply pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.
19. No works to trees or shrubs shall occur between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 - Conservation of the Natural Environment and EN6/3 - Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
20. Prior to the commencement of any earthworks, a method statement detailing the eradication of Japanese Rose shall be submitted to and approved in writing by the Local Planning Authority. The approved method statement shall be implemented in full prior to first occupation of the buildings hereby approved.
Reason. The scheme does not provide full details of the actual extent of Japanese Rose in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
21. A landscaping scheme shall be submitted to, and approved by the Local Planning Authority prior to the commencement of the development. The contents of the plan should include native tree and shrub planting and the provision of bat bricks/tubes within the new development and bat and bird boxes. The approved scheme shall thereafter be implemented not later than 12 months from the date the building(s) is first occupied or within the first available tree planting season,; and any trees or shrubs removed, dying or becoming severely damaged or

becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies H2/2 - The Layout of New Residential Development, EN1/2 - Townscape and Built Design and EN8/2 - Woodland and Tree Planting of the Bury Unitary Development Plan and chapter 15 - Conserving and enhancing the natural environment of the NPPF.

22. Notwithstanding the details indicated on the approved plans, no development shall commence unless and until full details of the following have been submitted on a topographical based survey of the site and adjacent adopted highways to the Local Planning Authority:
1. A scheme of highway remedial works around the perimeter of the site to a scope and specification to be agreed, incorporating the reinstatement of all redundant accesses, formation of the proposed site accesses and provision of associated tactile paved crossing points, demarcation of the limits of the adopted highway, relocation/replacement of pedestrian guardrailling affected by the site access alterations and visibility splays proposed, all measures required to suit appropriate site threshold levels and/or form access to the site/retain landscaped areas, and all associated highway and highway drainage remedial works and alterations to existing road markings required to facilitate the proposed development and reinstate the adopted highway to its former condition prior to commencement of the development;
 2. Surface water drainage arrangements for the proposed car parks, accesses and pedestrianised areas to prevent the discharge of surface water onto the adjacent adopted highway;
 3. Provision of a street lighting assessment to a scope and specification to be agreed (and, where necessary, a scheme of improvements) for the Green Street/Blackburn Street junction and Green Street from Blackburn Street to the westerly car park access to Building B & C;
 4. Identification of a 5m strip within the parking area immediately to the rear of the existing retaining wall adjacent to Pilkington Way, required to act as an easement strip to allow future maintenance access to rear of the retaining wall;
 5. Proposed security barrier/bollards types/method of operation at the car park accesses serving Buildings B & C, set back a minimum of 5.0m from the back of the adopted highway.

The details subsequently approved shall be implemented to an agreed programme.

Reason. To secure the satisfactory development of the site in terms of highway safety, ensure good highway design and maintain the integrity of the adopted highway, all in the interests of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy EC6/1 - Assessing New Business, Industrial and Commercial Development

Policy EN1/2 - Townscape and Built Design

Policy H2/2 - The Layout of New Residential Development.

23. Notwithstanding the details indicated on the approved plans, no development shall commence unless and until full details of the following have been submitted on a topographical based survey of the site and adjacent adopted highways to the Local Planning Authority:
- Proposed pedestrian refuge at the junction of Green Street with Blackburn Street, incorporating the retention/replacement of the existing 'give-way' warning signage and road markings, the retention/replacement of the existing 'keep left' bollards, provision of a tactile paved crossing point, revised white lining scheme to reflect the proposed car park access to Building A and all associated highway and highway drainage remedial works and alterations to road markings required to facilitate the proposed development and reinstate

the adopted highway to its former condition prior to commencement of the development;

The details subsequently approved shall be implemented to an agreed programme.

Reason. To secure the satisfactory development of the site in terms of highway safety, ensure good highway design and maintain the integrity of the adopted highway, all in the interests of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy EC6/1 - Assessing New Business, Industrial and Commercial Development

Policy EN1/2 - Townscape and Built Design

Policy H2/2 - The Layout of New Residential Development.

24. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and approved by the Local Planning Authority and shall confirm/provide the following:

- Dilapidation survey of the footways and carriageways leading to and abutting the site in the event that subsequent remedial works are required following construction of, and statutory undertakes connections to, the proposed development;
- Dilapidation survey of the whole length existing retaining wall, to a scope to be agreed;
- Construction method statement to a scope to be agreed giving due consideration to all operations which might apply loadings to the higher sections of the existing retaining wall (south westerly part of the site) and their potential impact on it;
- Access route for construction traffic from the highway network;
- Hours of operation and number of vehicle movements associated with the redevelopment of the site;
- Access point(s) for construction traffic from Green Street and any temporary works required to facilitate access for ground work/construction vehicles,
- If proposed, details of site hoarding/gate positions clear of required visibility splays onto the adopted highway;
- The provision, where necessary, of temporary pedestrian facilities/protection measures on the highway;
- A scheme of appropriate warning/construction traffic warning signage in the vicinity of the site and its access(es) onto the adopted highway;
- Confirmation of hours of operation and number of vehicle movements;
- Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site and measures to control/manage delivery vehicle manoeuvres;
- Parking on site or on land within the applicant's control of operatives' and construction vehicles, together with storage on site of construction materials;
- Measures to ensure that all mud and other loose materials are not spread onto the adjacent adopted highways as a result of the groundworks operations or carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations.

The approved plan shall be adhered to throughout the demolition/construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the demolition and construction periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of demolition/construction materials.

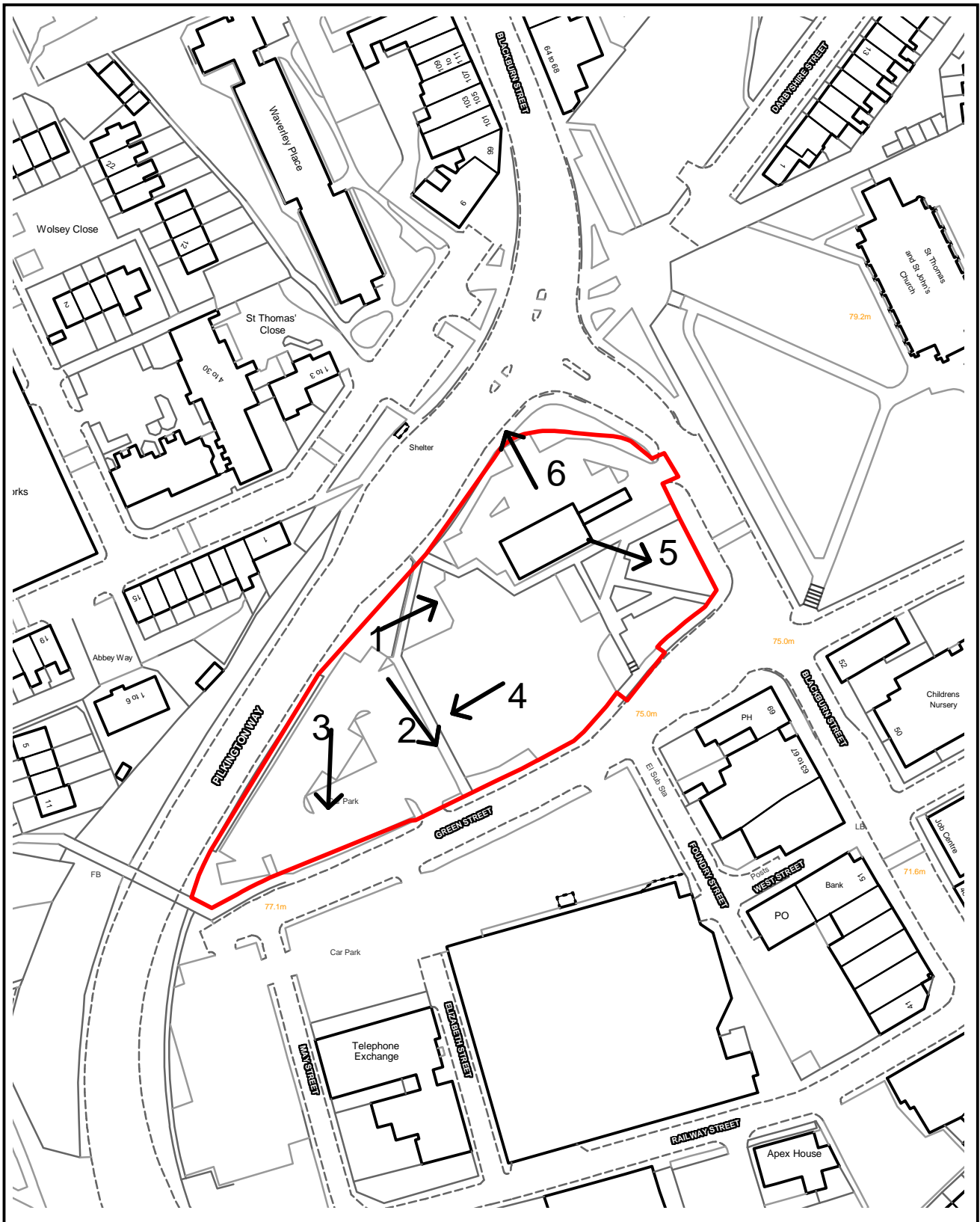
Reason. Information not submitted at application stage. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works

operations, in the interests of highway safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.

25. The vehicular and pedestrian access arrangements within the curtilage of the site indicated on the approved plans shall be implemented to the satisfaction of the Local Planning Authority before the development hereby approved is brought into use/first occupied.
Reason. To ensure good highway design in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy EC6/1 - Assessing New Business, Industrial and Commercial Development
Policy EN1/2 - Townscape and Built Design
Policy H2/2 - The Layout of New Residential Development.
26. The turning facilities within the curtilage of the site indicated on the approved plans shall be provided before the development hereby approved is brought into use/first occupied and the areas used for the manoeuvring of vehicles shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy EC6/1 - Assessing New Business, Industrial and Commercial Development
Policy EN1/2 - Townscape and Built Design
Policy H2/2 - The Layout of New Residential Development.
27. The car and cycle parking indicated on the approved plans shall be surfaced, demarcated and made available for use to the written satisfaction of the Local Planning Authority before the development hereby approved is brought into use/first occupied and thereafter maintained at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
28. Bin storage arrangements shall be provided within the curtilage of the development for all uses in accordance with Waste Management's 'Guide to Refuse Collection Requirements & Storage Methods for New Developments' to the satisfaction of the Local Planning Authority before the development hereby approved is brought into use/first occupied and shall thereafter be maintained.
Reason. To ensure adequate provision for the storage and disposal of refuse within the curtilage of the site, clear of the adopted highway pursuant to the following Policies of the Bury Unitary Development Plan:
Policy EC6/1 - Assessing New Business, Industrial and Commercial Development
Policy EN1/2 - Townscape and Built Design
Policy H2/2 - The Layout of New Residential Development.

For further information on the application please contact **Helen Leach** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 68998

ADDRESS: Land at Green Street, Radcliffe



Planning, Environmental and Regulatory Services

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Item 03 - 68998

Photo 1



Photo 2



Item 03 - 68998

Photo 3



Photo 4



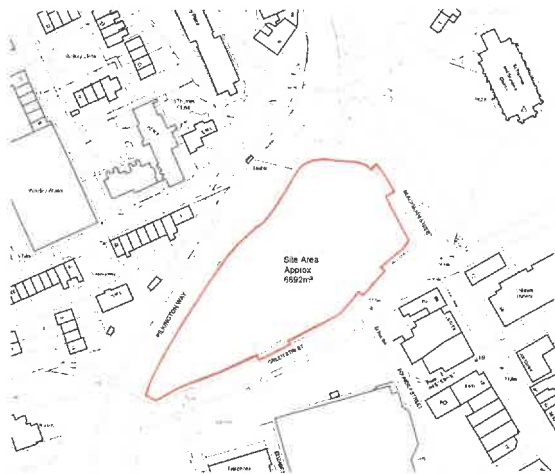
Item 03 - 68998

Photo 5



Photo 6





01 Existing Site Plan

10 Scale 1:1250 @ A1



01 Existing Site Plan
10 Scale 1:250 @ A1

General Notes
 01 Dimensions must not be scaled from this drawing. If in doubt, please ask.
 02 All dimensions are in millimetres unless noted otherwise.
 03 All dimensions should be verified on site before proceeding with the work.
 04 TADW Architects shall be notified in writing of any discrepancies.
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Legend

P1	Drawn	16.02.22	AM	MH
Issue	Description	Date	Drawn	Checked

Drawing Status:
 P - Planning | T - Tender | C - Construction | R - As Record

For Approval



St. Peter's Gate, Stockport, Cheshire SK1 1HD
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Client: Watson Homes

Job: Green Street
Ratcliffe

Title: Existing Site and Location Plan

Scale: 1:250, 1:1250 @ A1

Note - Prints from PDF files may not be to scale, check accuracy against scale

Job Number	Drawing Number	Issue
121305	10	P1



General Note
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 05 © TADW Limited (UK) 2015

Legend
Schedule of Accommodation

Building A - Mixed Use
 184m² bar (NIA)
 898m² commercial (NIA, excluding both stairs and their lobby / circulation spaces serving offices)
 29 basement car parking spaces
 Motorbike parking in basement
 207.9m² basement storage
 5no. 2B4P apartments at 70.5m²
 11no. 2B3P apartments at 62m²
 19no. 1B2P apartments at 50m²

Building B - Affordable
 33no. 2B3P apartments at 57m²
 23no. 1B2P apartments at 48m²

Building C - Affordable
 17no. 2B3P apartments at 57m²
 24no. 1B2P apartments at 48m²

Total Across All Buildings
 132 apartments

Total Car Parking Across the Site
 108 spaces

P10	Visibility signs and further dimensions added	28.03.23	AM	MH
P16	Buildings B and C layout amended	22.03.23	AM	MH
P17	Buildings B and C layout amended	14.03.23	AM	MH
P16	Buildings B and C revised	03.03.23	AM	MH
P15	Distance from Buildings B and C to existing retaining wall increased	24.02.23	AM	MH
Issue	Description	Date	Drawn	Checked

Drawing Status
 P - Planning | T - Tender | C - Construction | R - As Record

For Approval

tadw architects

Soil St, Peersgate, Stockport, Cheshire, SK1 1HD
 Ph: 0161 477 6158 | Fx: 0161 480 8342 | mail@tadw.co.uk | www.tadw.co.uk

Client Watson Homes

Job Green Street Ralcliffe

Title Proposed Site Plan

Scale 1:250 @ A1

Note - Prints from PDF files may not be to scale, check accuracy against scale

Job Number	Drawing Number	Issue
121305	11	P19

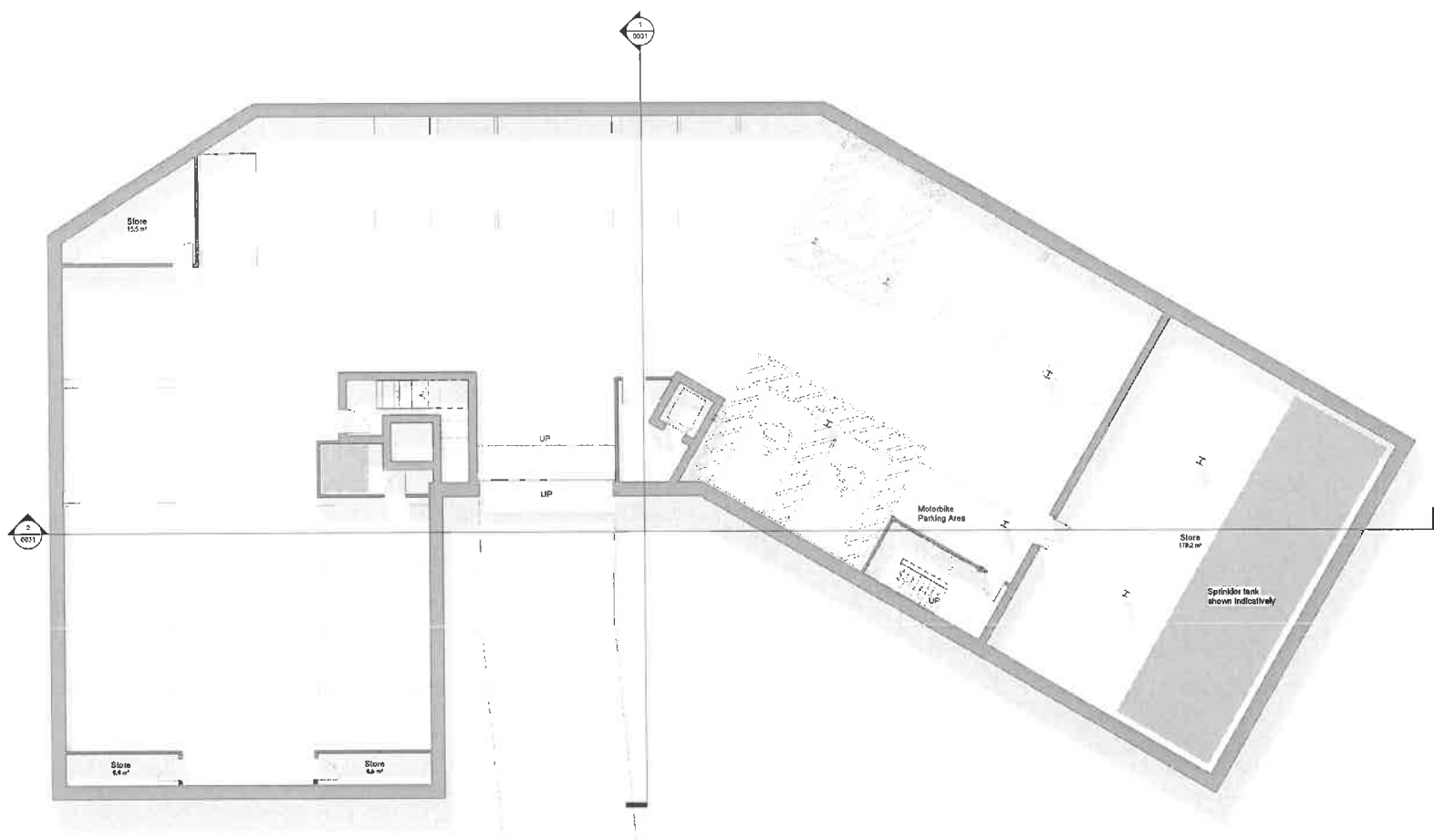
EV Denotes Electric Vehicle Charging Point. Provided at a minimum rate of 1 EV charging point per 10 parking spaces

● Denotes Bin Store Location

● Denotes Cycle Store Location

General Notes
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 02. All dimensions are in millimetres unless noted otherwise.
 03. All dimensions should be verified on site before proceeding with the work.
 04. TADW Architects shall be notified in writing of any discrepancies.
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Legend

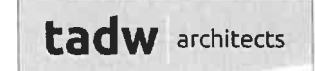


8	Solid external wall increased to bar, store off store removed, sprinkler tank shown to basement	10.10.22	AM	UH
7	Amended lighting comments from Tendor, floor plan drawn	22.02.22	AM	UH
6	Office escape route amended, Furniture heights corrected	26.01.22	AM	UH
5	Elevations and floor to floor heights revised	26.01.22	AM	UH
4	Amended firework cupboard size drawings and information	21.12.21	AM	UH
3	Corner eases and bar fascia amended	07.12.21	AM	UH
2	Pilington Way Fire Station Street corner amended	19.11.21	AM	UH
1	Drawn	21.10.21	AM	UH

Issue	Description	Date	Drawn	Checked
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Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING



Sir St Peter's Way Stockport Cheshire SK1 1HD
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Client **Watson Homes**

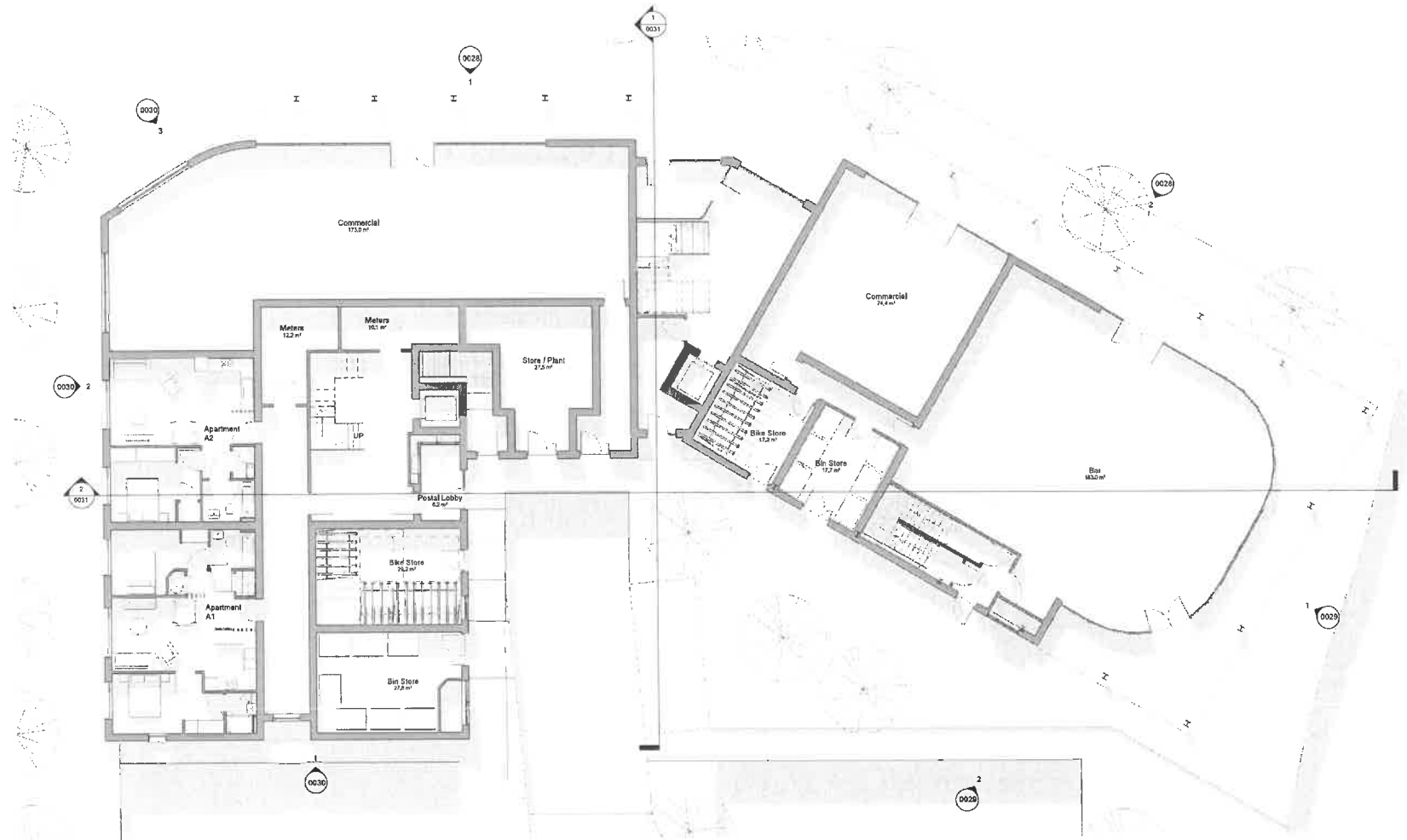
Job **Green Street, Radcliffe**

Title **Mixed Use Building - Basement Floor Plan**

Scale **1 : 100 @ A1**
 Note - Prints from PDF. Size may not be to scale, check accuracy against scale.
 10m 1:100

Job No. Originator Ph. Level View Role Dwg Status Rev.
 121305-TADW-00- [-1]- DR-A- 0021- P- 8

1 Level -1 Basement
 1 : 100



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 03: All dimensions should be re-checked in situ before proceeding with the work.
 04: TADW Architects shall be notified in writing of any discrepancies.
 05: Copyright to remain the property of TADW Architects in accordance with Copyright, Designs and Patents Act 1988.

Legend

9	Apartment numbers added	21.11.22	AM	MH
8	Bin external wall increased to bar, window placement	10.10.22	AM	MH
7	Amended following comments from Tenor, Road plan on way	22.02.22	AM	MH
6	Office escape route amended, Furniture heights corrected	28.01.22	AM	MH
5	Elevations and floor to floor heights revised	25.01.22	AM	MH
4	Amended following preliminary CE meeting and information	21.12.21	AM	MH
3	Cover slip and bar inside amended	07.12.21	AM	MH
2	Pilington Way / Blackburn Street corner amended	10.11.21	AM	MH
1	Drawn	21.10.21	AM	MH

Issue	Description	Date	Drawn	Checked
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Drawing Status

P - Planning T - Tender C - Construction R - As Record

PLANNING



Six St Peteringata Stratford City Centre SK1 1HD
 Ph 0161 477 6156 Fx 0161 450 5542 mail@tadw.co.uk www.tadw.co.uk

Client **Watson Homes**

Job **Green Street, Radcliffe**

Title **Mixed Use Building - Ground Floor Plan**

Scale **1 : 100 @ A1**

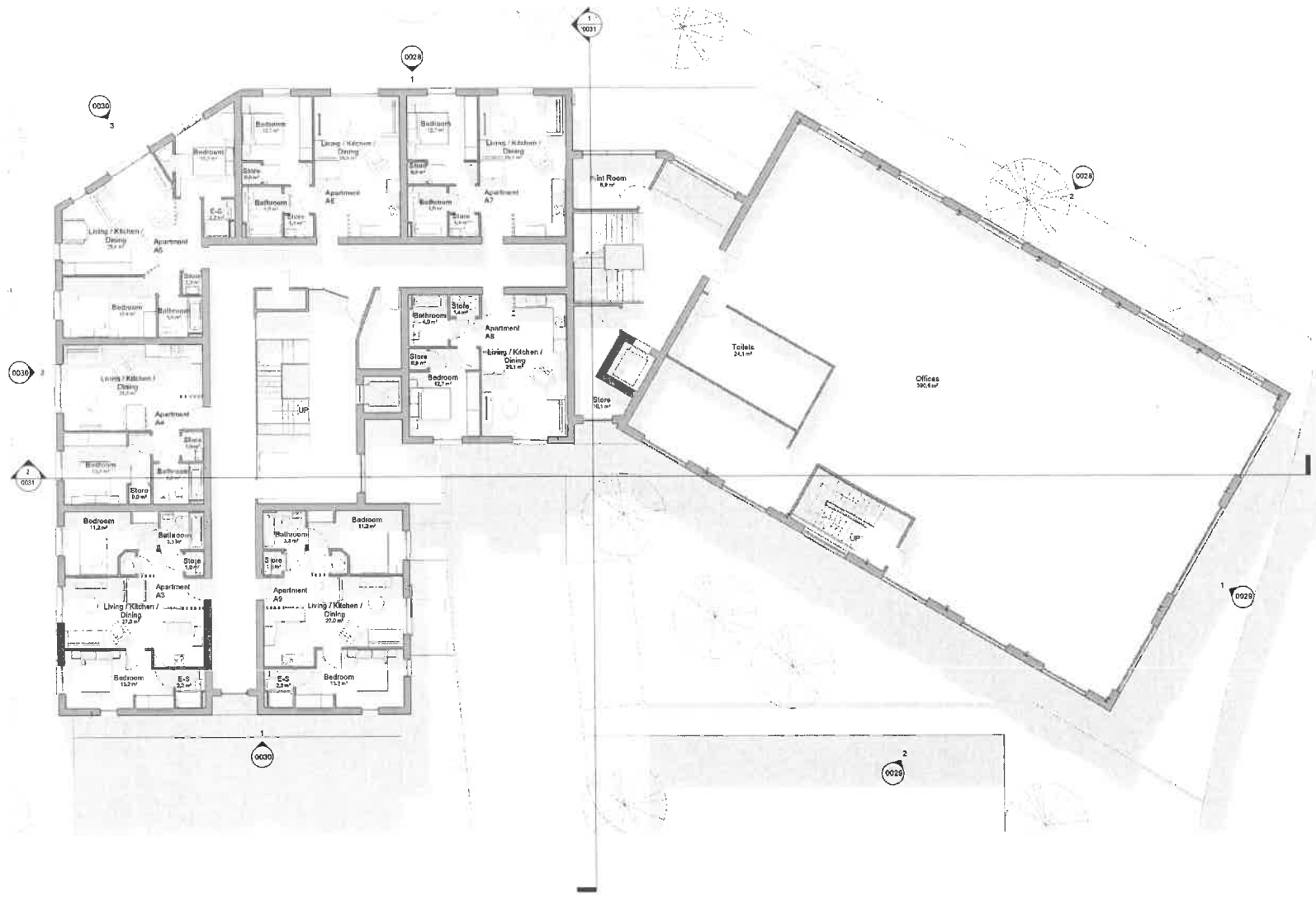
Note - Prints from PDF files may not be to scale, check accuracy against scale

Job No.	Originator	Pl.	Level	View	Role	Dwg	Status	Rev.
121305-TADW-00-00-DR-A-	0022	P	Level	View	Role	Dwg	Status	Rev.

1 Level 0 Ground
 1:100

General Notes
 01: Dimensions must not be scaled from this drawing. If in doubt, please ask
 02: All dimensions are in millimetres unless stated otherwise.
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Legend



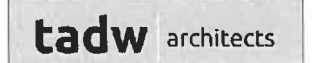
1 Level 1 First Mixed
 1 : 100

9	Apartment numbers added	21.11.22	AM	WH
5	Soil external wall increased to be above 200mm re-entrant, upper 2nd floor to basement	10.10.22	AM	WH
7	Amended following comments from Tames, Rose plan drawn	22.02.22	AM	WH
6	Office surface area amended, staircase height corrected	18.01.22	AM	WH
5	Staircase and floor to floor heights revised	20.01.22	AM	WH
4	Amended following preliminary 05 drawings and information	21.12.21	AM	WH
3	Control lobby and lift radius amended	07.12.21	AM	WH
2	Pilgrimage Way Blockroom Street corner amended	19.11.21	AM	WH
1	Drawn	21.10.21	AM	WH

Issue	Description	Date	Drawn	Checked
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Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING



615, Pennington Road, London, SE11 5JL
 Ph 0203 477 6158 Fax 0203 462 8542 info@tadw.co.uk www.tadw.co.uk

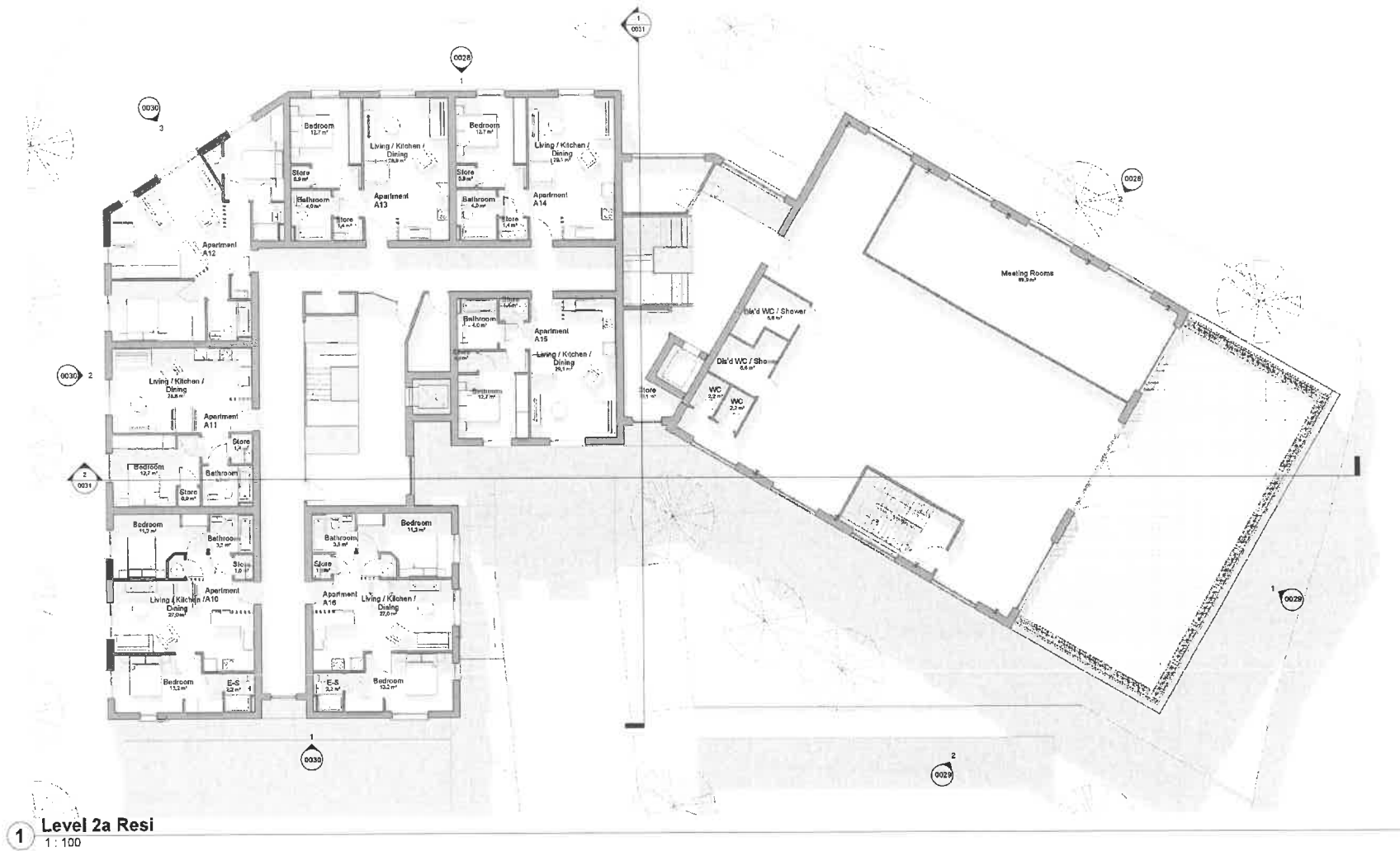
Client **Watson Homes**

Job **Green Street, Radcliffe**

Title **Mixed Use Building - First Floor Plan**

Scale **1 : 100 @ A1**
 Note - Prints from PDF files may not be to scale, check accuracy against scale

Job No.	Originator	Pl.	Level	View	Rev	Drawn	Status	Rev.
121305-TADW-	00-	01-	DR-	A-	0023-	P-	9	



General Notes
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 02. All dimensions are in millimetres unless noted otherwise.
 03. All dimensions should be verified on site before proceeding with the work.
 04. TADW Architects shall be notified in writing of any site irregularities.
 05. Copyright to remain the property of TADW Architects in accordance with Copyright, Designs and Patents Act 1988.

Legend

9	Apartment numbers added	21.11.22	AM	MH
8	Spot external wall increased to bar, stairs all clear marked, apartment bar removed to restaurant	10.10.22	AM	MH
7	Amended building construction from TADW. Roof plan drawn	22.02.22	AM	SH
6	Office escape plan amended. Furniture layout corrected	28.01.22	AM	SH
5	Elevations and floor to floor heights reviewed	25.01.22	AM	SH
4	Area identification preliminary 2D drawings and information	21.12.21	AM	SH
3	Column sizes and bar radius amended	02.12.21	AM	SH
2	Pilgrimage Way / Blackburn Street corner amended	10.11.21	AM	SH
1	Drawn	21.10.21	AM	MH

Issue	Description	Date	Drawn	Checked
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Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING



Client **Watson Homes**

Job **Green Street, Radcliffe**

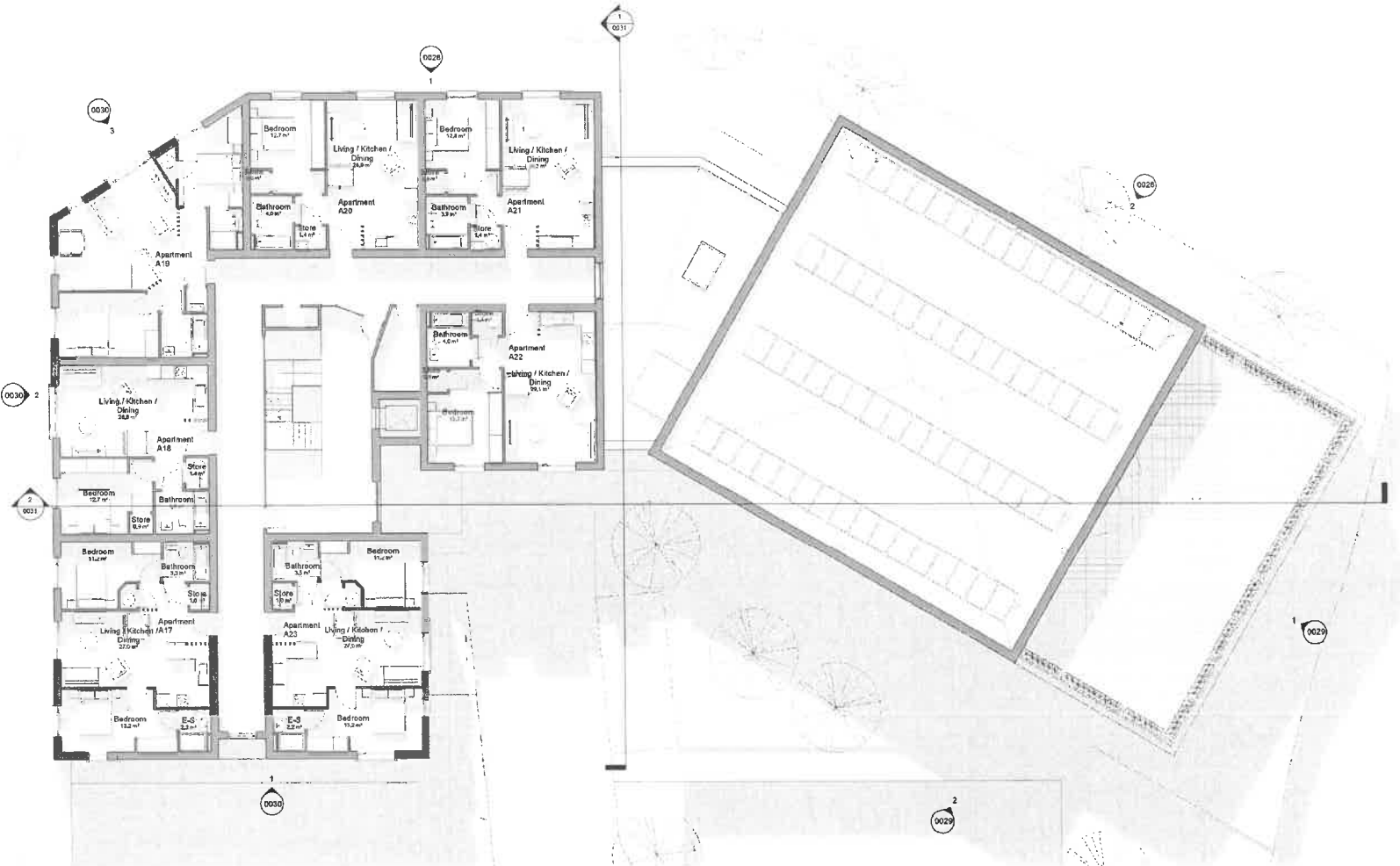
Title **Mixed Use Building - Second Floor Plan**

Scale **1 : 100 @ A1**
 Note - Prints from PDF files may not be to scale, check accuracy against scale.
 10m
 5
 1:100

Job No. **121305-TADW-00-02-DR-A-0024-P-9**

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 03. All dimensions should be verified on site before proceeding with the work.
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 05. Copyright to remain the property of TADW Architects in accordance with Copyright, Designs and Patents Act 1988.

Legend



1 Level 3 Resi
 1:100

Issue	Description	Date	Drawn	Checked
8	Apartment numbers added	21.11.22	AM	MH
7	Amended following comments from Towns. Roof plan drawn	22.02.22	AM	MH
6	Office escape route amended. Furniture heights corrected	25.01.22	AM	MH
5	Elevations and floor to floor heights revised	26.01.22	AM	MH
4	Amended following preliminary IES drawings and information	21.12.21	AM	MH
3	Corridor lobby and lift shafts amended	27.10.21	AM	MH
2	Paragon Way / Blackburn Street corner amended	16.11.21	AM	MH
1	Drawn	21.10.21	AM	MH

Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING



Sir S.Petergate Stockport Cheshire SK11 1HD
 Ph 0161 477 6128 Fx 0161 450 9342 msa@tadw.co.uk www.tadw.co.uk

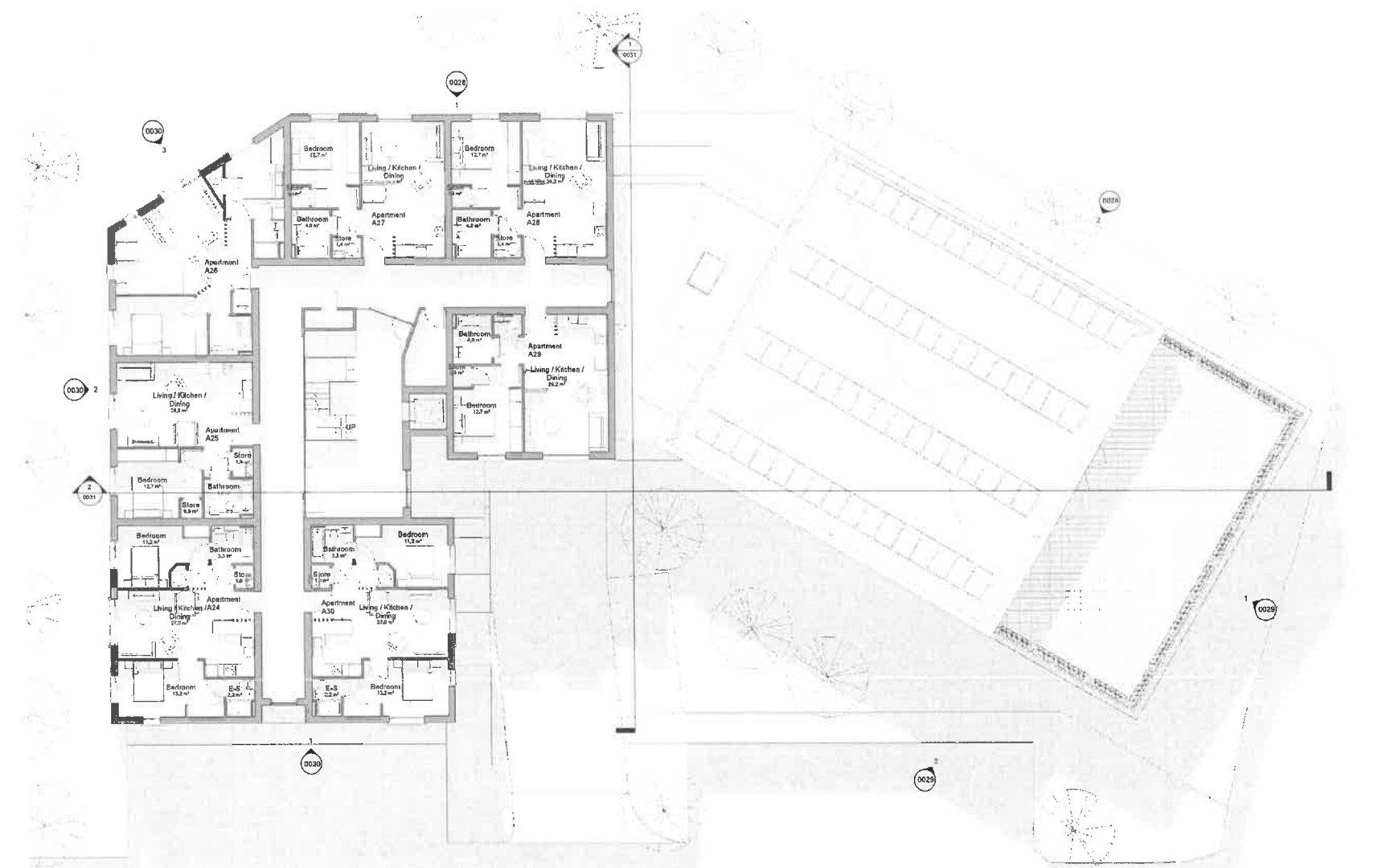
Client Watson Homes

Job Green Street, Radcliffe

Title Mixed Use Building - Third Floor Plan

Scale 1:100 @ A1
 Note - Prints from PDF files may not be to scale, check accuracy against scale

Job No. Originator Ph. Level View Role Dwg. Status Rev.
 121305-TADW-00-03-DR-A-0025-P-8



1 Level 4 Resi
1 : 100

General Notes
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 03. All dimensions should be verified on site before proceeding with the work.
 04. TADW Architects shall be notified in writing of any discrepancies.
 05. Copyright to remain the property of TADW Architects in accordance with Copyright, Designs and Patents Act 1988.

Legend

1	Apartment numbers added	23, 1, 23	AM	MM
2	Amended building components from previous issue	23, 02, 23	AM	MM
3	Client use only site comments, including health and safety	26, 09, 22	AM	MM
4	Revisions issued to Bore Knight's comment	26, 09, 22	AM	MM
5	Structural drawing underdrawing	21, 12, 21	AM	MM
6	Structural and architectural	17, 12, 21	AM	MM
7	Client issues and their solution	16, 12, 21	AM	MM
8	Integration into / Addition of new issues	21, 04, 20	AM	MM

Issue Description Date Drawn Checked

Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING



5th St. Paternoster, Stockport, Cheshire SK1 1HD
 Ph 0161 477 6108 Fx 0161 480 5342 mail@tadw.co.uk www.tadw.co.uk

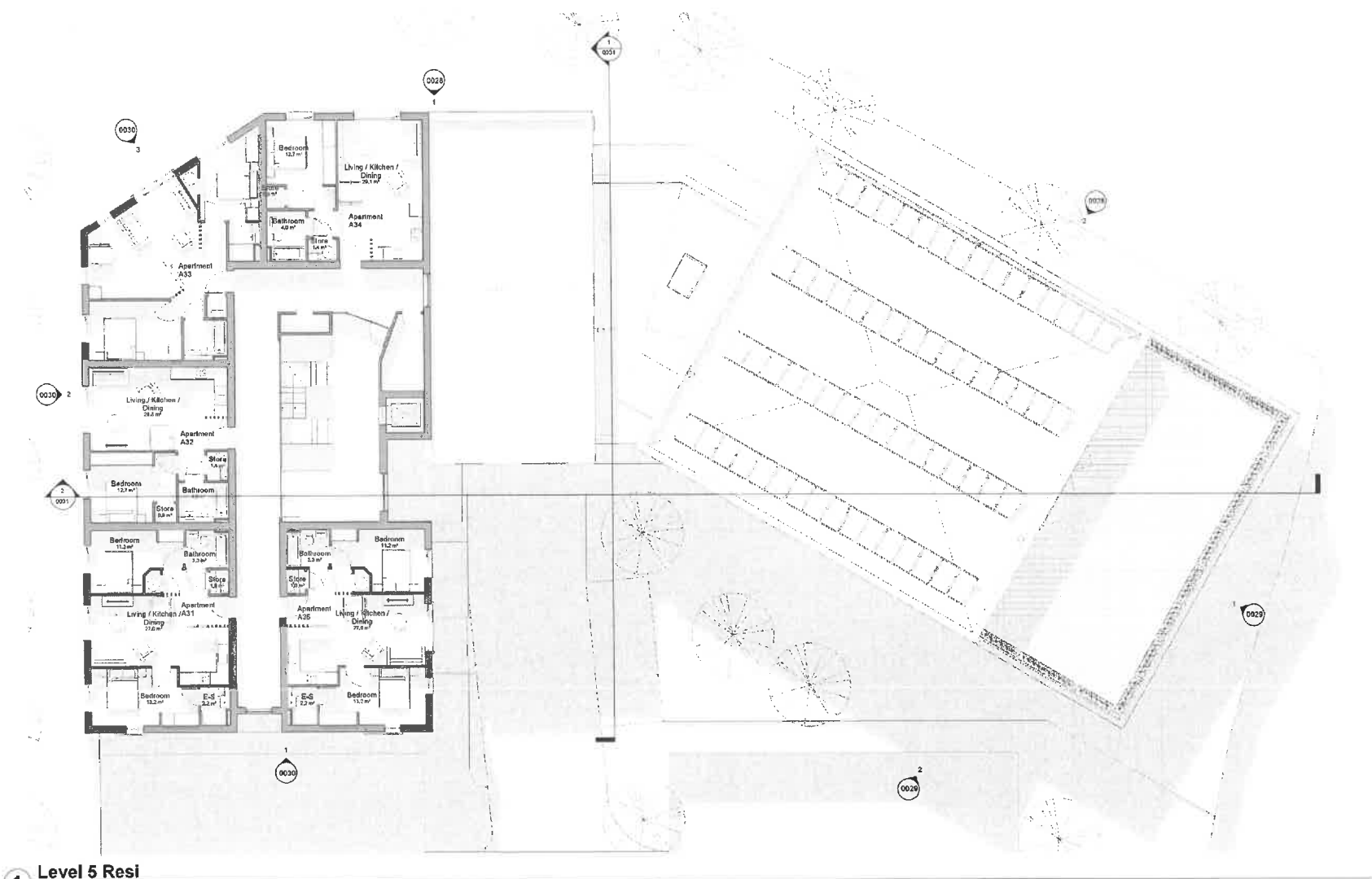
Client **Watson Homes**

Job **Green Street, Radcliffe**

Title **Mixed Use Building - Fourth Floor Plan**

Scale **1 : 100 @ A1**
 Note - Prints from PDF files may not be to scale, check accuracy against scale
 10m 1:100

Job No. **121305-TADW-00-04-DR-A-0026-P-8**



1 Level 5 Resi
1 : 100

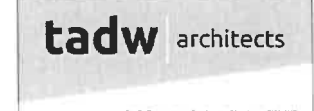
General Notes
 01. Dimensions must not be scaled from this drawing. If in doubt, please ask.
 02. All dimensions are in millimeters unless noted otherwise.
 03. All dimensions should be verified on site before proceeding with the work.
 04. TADW Architects shall be notified in writing of any amendments.
 05. Copyright to remain the property of TADW Architects in accordance with Copyright, Designs and Patents Act 1988.

Legend

Issue	Description	Date	Drawn	Checked
6	Apartment numbers added	23.11.22	AH	MH
7	Revised floor plan comments from Council Floor plan drawn	23.12.22	AH	MH
8	Office workspace size amendment. Furniture layout amended	28.07.23	RA	MH
9	Electrical outlets to floor height amended	28.07.22	RA	MH
10	Amendment following planning 001	11.11.23	RA	MH
11	Corridor width and door frames amended	07.12.23	RA	MH
12	Highway Works / Birmingham Road Council amendment	10.11.23	RA	MH
13	Issue	07.08.24	RA	MH

Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING



Sir D.Petengala Stockport Cheshire SK1 1HD
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Client Watson Homes

Job Green Street, Radcliffe

Title Mixed Use Building - Fifth Floor Plan

Scale 1 : 100 @ A1
 Note - Prints from PDF files may not be to scale, check accuracy against scale
 10m
 5m
 1:100

Job No. Originator Ph. Level View Role Dwg Status Rev.
 121305-TADW-00-05-DR-A-0027-P-8



1 Section 1
1 : 100



2 Section 2
1 : 100

General Notes
 01. Dimensions must not be scaled from this drawing. If in doubt, please ask.
 02. All dimensions are in millimetres unless noted otherwise.
 03. All dimensions should be verified on site before proceeding with the work.
 04. TADW Architects shall be notified in writing of any discrepancies.
 05. Copyright to remain the property of TADW Architects in accordance with Copyright, Designs and Patents Act 1988.

Legend

1	Amended following comments from Tenax. Roof plan drawn	22.02.22	AM	MH
6	Office average floor amended. Floorline heights corrected	28.01.22	AM	MH
5	Elevations and floor to floor heights revised	25.01.22	AM	MH
4	Amended following preliminary DE drawings and information	31.12.21	AM	MH
3	Corner study and floor plans amended	07.12.21	AM	MH
2	Pilington Way / Blackburn Street corner amended	10.11.21	AM	MH
1	Drawn	31.10.21	AM	MH

Issue	Description	Date	Drawn	Checked
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Drawing Status

P - Planning T - Tender C - Construction R - As Record

PLANNING



for St. Patengate Stockport Cheshire SK1 1HD
 Ph 0161 417 6158 Fx 0161 490 6342 mail@tadw.co.uk www.tadw.co.uk

Client Watson Homes

Job Green Street, Radcliffe

Title Mixed Use Building - Proposed Sections

Scale 1 : 100 @ A1

Note - Prints from PDF files may not be to scale, check accuracy against scale.



Job No. 121305-TADW-00-ZZ-DR-A-0031-P-7
 Designer PL Level Year Rev Dwg Status Rev

General Note:
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 04. TADW Architects shall be notified in writing of any discrepancies.
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Legend



1 Elevation 1 - Blackburn Street
 1 : 100



2 Elevation 2 - Blackburn Street
 1 : 100

8	Grid external wall increased to bar, doors all size amended, apartment bar, shower to basement	16.10.22	AM	MH
7	Approved planning comments from Town, Roof plan drawn	22.02.22	AM	MH
6	Office escape route amended, Furniture heights corrected	28.01.22	AM	MH
5	Elevations and floor to 600 heights amended	20.01.22	AM	MH
4	Approved planning preliminary DS	21.12.21	AM	MH
3	Drawings and bar status amended	07.12.21	AM	MH
2	Pilington Way / Blackburn Street corner amended	16.11.21	AM	MH
1	Client	21.10.21	AM	MH

Issue	Description	Date	Drawn	Checked
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Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING



St. Saviourgate Stockport, Cheshire SK1 1HD
 Ph 0161 477 8158 Fx 0161 480 8142 mail@tadw.co.uk www.tadw.co.uk

Client **Watson Homes**

Job **Green Street, Raddcliffe**

Title **Mixed Use Building - Elevations Sheet 1**

Scale **1 : 100 @ A1**

Note - Prints from PDF files may not be to scale, check accuracy against scale

0	5	10m
1:100		

Job No. Original Pn. Level View Role Dwg. Status Rev.
 121305-TADW-00-ZZ-DR-A-0028-P-8



2 Elevation 6 - Pilkington Way
1:100



1 Elevation 5 - Car Park (Residential)
1:100



3 Elevation 7 - Pilkington Way Corner
1:100



Drawn by: [Name]
 11. This document must not be included from this drawing. If in doubt, please refer to the architect.
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 13. All dimensions are in millimetres unless stated otherwise.
 14. All dimensions are in millimetres unless stated otherwise.
 15. All dimensions are in millimetres unless stated otherwise.
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Legend

Item	Description	Date	Drawn	Checked
1	Site plan	18/11/17	AM	AM
2	Site plan	18/11/17	AM	AM
3	Site plan	18/11/17	AM	AM
4	Site plan	18/11/17	AM	AM
5	Site plan	18/11/17	AM	AM
6	Site plan	18/11/17	AM	AM
7	Site plan	18/11/17	AM	AM
8	Site plan	18/11/17	AM	AM
9	Site plan	18/11/17	AM	AM
10	Site plan	18/11/17	AM	AM
11	Site plan	18/11/17	AM	AM
12	Site plan	18/11/17	AM	AM
13	Site plan	18/11/17	AM	AM
14	Site plan	18/11/17	AM	AM
15	Site plan	18/11/17	AM	AM
16	Site plan	18/11/17	AM	AM
17	Site plan	18/11/17	AM	AM
18	Site plan	18/11/17	AM	AM
19	Site plan	18/11/17	AM	AM
20	Site plan	18/11/17	AM	AM

Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING



10 Southgate, Bristol, Devon, BS1 1ND
 Tel: 0117 925 1234 Fax: 0117 925 1234

Client: Watson Homes

Job: Green Street, Radcliffe

Title: Mixed Use Building - Elevations Sheet 3

Scale: 1:100 @ A0

Notes: Please refer to the RFP for any other information. Check accuracy against site plan.

Job No: 121305-TADW-00-ZZ-DR-A-0030-P-8



1 Level 0 - Ground
1:100

2 Level 1 - First
1:100

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Notes

Notes	Description	Date	Drawn	Checked
1	Horizontal reference to column line	21/11/18	AM	AM
2	Horizontal reference to column line	21/11/18	AM	AM
3	Horizontal reference to column line	21/11/18	AM	AM
4	Horizontal reference to column line	21/11/18	AM	AM
5	Horizontal reference to column line	21/11/18	AM	AM
6	Horizontal reference to column line	21/11/18	AM	AM
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8	Horizontal reference to column line	21/11/18	AM	AM
9	Horizontal reference to column line	21/11/18	AM	AM
10	Horizontal reference to column line	21/11/18	AM	AM
11	Horizontal reference to column line	21/11/18	AM	AM
12	Horizontal reference to column line	21/11/18	AM	AM
13	Horizontal reference to column line	21/11/18	AM	AM
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48	Horizontal reference to column line	21/11/18	AM	AM
49	Horizontal reference to column line	21/11/18	AM	AM
50	Horizontal reference to column line	21/11/18	AM	AM

Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING



100, Palmers Green, London, N16 9LJ
 Tel: 020 7477 8118 Fax: 020 7477 8117 www.tadw.co.uk

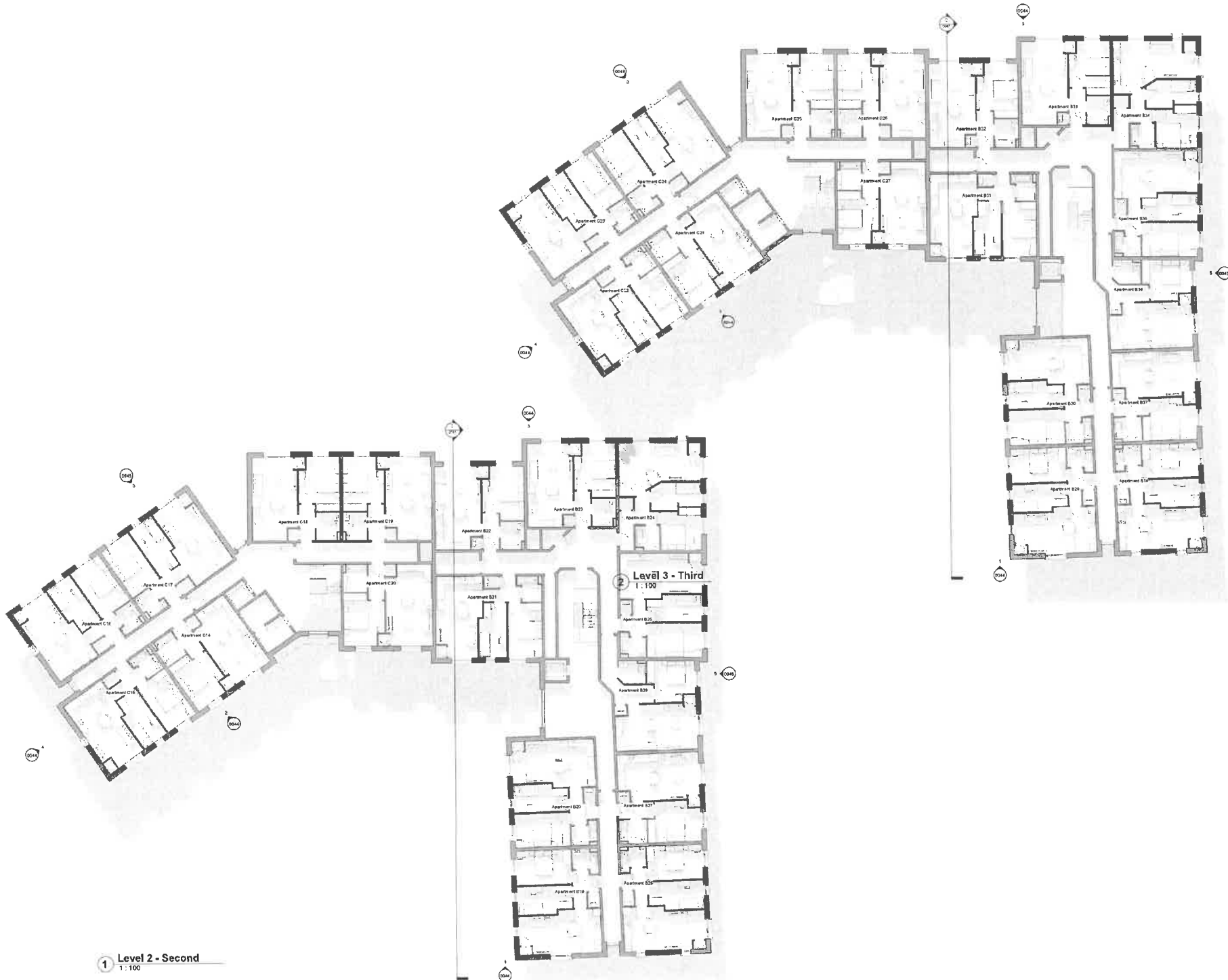
Client: Watson Homes

Job: Green Street, Radcliffe

Title: Residential Buildings - Ground and First Floor Plans

Scale: 1:100 @ A0
 Note: Plot size PDF was prepared by a scale which necessary against scale

12/305-TADW-00-ZZ-DR-A-0041-P-10



1 Level 2 - Second
1:100

2 Level 3 - Third
1:100

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Layers

1	Structural Foundations	1:100	AM	1/21
2	Structural Foundations	1:100	AM	1/21
3	Structural Foundations	1:100	AM	1/21
4	Structural Foundations	1:100	AM	1/21
5	Structural Foundations	1:100	AM	1/21
6	Structural Foundations	1:100	AM	1/21
7	Structural Foundations	1:100	AM	1/21
8	Structural Foundations	1:100	AM	1/21
9	Structural Foundations	1:100	AM	1/21
10	Structural Foundations	1:100	AM	1/21

Name	Description	Date	Drawn	Checked

Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING



100 St Pauls Street, Radcliffe, Manchester, M5 4BT
 Tel: 0161 475 1516 Fax: 0161 475 1517 info@tadw.co.uk www.tadw.co.uk

Client: Watson Homes

Job: Green Street, Radcliffe

T. # Residential Buildings - Second and Third Floor Plans

Scale: 1:100 @ A0

Notes: - Plans from PDF file may not be to scale, please refer to original files.
 Date: 1/2/2020
 1:100

Job No. 121305-00-02-DR-A-0042-P-10



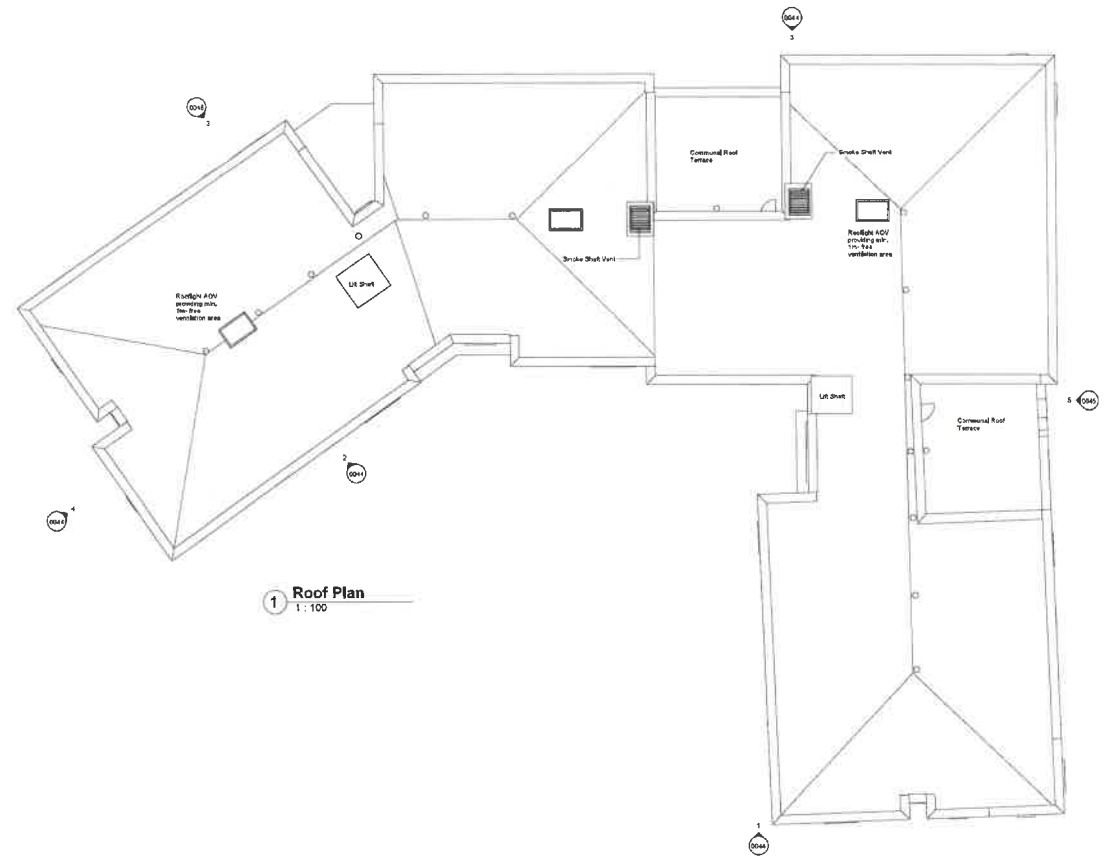
5 North West Elevation
1:100



2 Section 1
1:100



3 Pilkington Way Elevation 2
1:100



1 Roof Plan
1:100

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Item	Description	Date	Drawn	Checked
1	Roof Plan	20/10/18	AM	AM
2	Section 1	20/10/18	AM	AM
3	North West Elevation	20/10/18	AM	AM
4	Pilkington Way Elevation 2	20/10/18	AM	AM

Drawing Status
 P - Planning T - Tender C - Construction R - As Record

PLANNING
tadw architects

100 St. George's Street, Radcliffe, Manchester, M5 2JL
 Tel: 0161 475 8158 Fax: 0161 475 8152
 Client: **Whitson Homes**

Job: **Green Street, Radcliffe**
 Title: **Residential Buildings - Elevations, Roof Plan and Section 1**
 Scale: **1:100 @ A0**

Notes: Please refer to the main contract documents for full details.
 1:100
 1:100



1 Green Street Elevation 1
1:100



2 Green Street Elevation 2
1:100



4 South Elevation
1:100



3 Pilkington Way Elevation
1:100



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 4. Copyright is reserved for the architect and shall remain his/her sole property.

Layers

1	Basic Building Structure	2,3,4,7,8	AR	AR
2	Basic Building Structure	1,2,3,4,7,8	AR	AR
3	Basic Building Structure	1,2,3,4,7,8	AR	AR
4	Building - External Facade, Building	1,2,3,4,7,8	AR	AR
5	Building - External Facade, Building	1,2,3,4,7,8	AR	AR
6	Building - External Facade, Building	1,2,3,4,7,8	AR	AR
7	Building - External Facade, Building	1,2,3,4,7,8	AR	AR
8	Building - External Facade, Building	1,2,3,4,7,8	AR	AR

Issue	Description	Date	Drawn	Checked

Drawing Status
 P-Planning T-Tender C-Construction R-As Record

PLANNING

tadw architects

0121 609 0001 0121 609 0002 0121 609 0003 0121 609 0004
 0121 609 0005 0121 609 0006 0121 609 0007 0121 609 0008

Client **Watson Homes**

Job **Green Street, Radcliffe**

Title **Residential Buildings - Proposed Elevations**

Scale **1:100 @ A0**

Issue: Please refer to the drawing for a full list of issues and any required actions.

DATE: 12/10/2023 12:10:55

12/10/2023 12:10:55

12/10/2023 12:10:55

12/10/2023 12:10:55







